

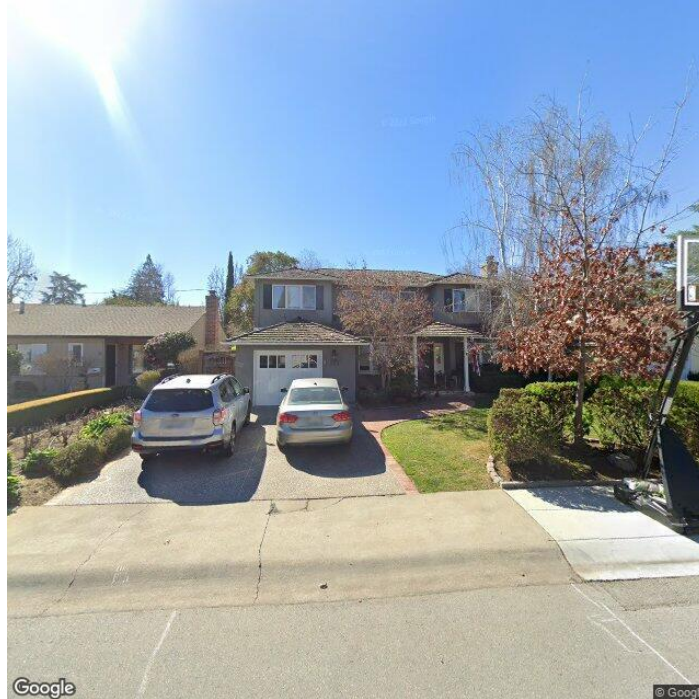


HI-FI HOME INSPECTIONS L.L.C

9164705843

[zachkonrath@hifihomeinspections.com](mailto:zachkonrath@hifihomeinspections.com)

<https://www.hifihomeinspections.com>



## BEN GROMICKO'S TEMPLATE FOR HOME INSPECTIONS

1234 Main Street  
Palo Alto, CA 94301

Buyer Name  
08/25/2025 9:00AM

---

Inspector  
**Zachary Konrath**  
InterNACHI Certified Home Inspector  
[9164705843](tel:9164705843)  
[zachkonrath@hifihomeinspections.com](mailto:zachkonrath@hifihomeinspections.com)



Agent  
**Agent Name**  
555-555-5555  
[agent@spectora.com](mailto:agent@spectora.com)

TABLE OF CONTENTS

1: Inspection Detail	6
2: Roof	10
3: Exterior	21
4: Basement, Foundation, Crawlspace & Structure	37
5: Heating	45
6: Cooling	47
7: Plumbing	50
8: Electrical	61
9: Attic, Insulation & Ventilation	66
10: Bathrooms	70
11: Doors, Windows & Interior	75
12: Laundry	89
13: Kitchen	92
Standards of Practice	97

[www.BigBenInspections.com](http://www.BigBenInspections.com)

# SUMMARY



ITEMS INSPECTED



MINOR DEFECT



MAJOR DEFECT

Summary Text (enter here)

- ⊖ 2.1.1 Roof - Roof Covering: Cracked Roof-Covering Material
- ⊖ 2.1.2 Roof - Roof Covering: Exposed Fasteners
- ⚙ 2.1.3 Roof - Roof Covering: Discoloration Stain from Algae
- ⚙ 2.1.4 Roof - Roof Covering: Tree Too Close
- ⚙ 2.1.5 Roof - Roof Covering: Old System
- ⊖ 2.2.1 Roof - Flashing: Missing Flashing
- ⊖ 2.2.2 Roof - Flashing: Corroded - Minor
- ⚙ 2.3.1 Roof - Gutters & Downspouts: Debris in Gutters
- ⊖ 2.3.2 Roof - Gutters & Downspouts: Gutter Damaged
- ⊖ 2.3.3 Roof - Gutters & Downspouts: Gutter Leakage
- ⊖ 3.2.1 Exterior - Eaves, Soffits & Fascia: Damage Observed at Fascia
- ⊖ 3.2.2 Exterior - Eaves, Soffits & Fascia: Paint Surface in Poor Condition
- ⚙ 3.3.1 Exterior - Wall-Covering, Flashing & Trim: Cracking - Minor
- ⚙ 3.3.2 Exterior - Wall-Covering, Flashing & Trim: Inadequate Ground Clearance
- ⊖ 3.4.1 Exterior - Vegetation, Surface Drainage, Retaining Walls & Grading: Fence Defect
- ⊖ 3.5.1 Exterior - GFCIs & Electrical: GFCI Wouldn't Reset
- ⚙ 3.6.1 Exterior - Walkways & Driveways: Major Cracking at Driveway
- ⚙ 3.11.1 Exterior - Exterior Doors: Wood Rot at Door
- ⚙ 3.11.2 Exterior - Exterior Doors: Exterior Door Surface in Poor Condition
- ⊖ 7.3.1 Plumbing - Hot Water Source: Defect at the TPR Valve
- ⊖ 7.3.2 Plumbing - Hot Water Source: Defect at TPR Valve Discharge
- ⚙ 7.3.3 Plumbing - Hot Water Source: Missing Catch Pan Under Tank
- ⊖ 7.5.1 Plumbing - Water Supply & Distribution Systems: Deficiency in the Hot & Cold Water Supply



- ⊖ 8.5.1 Electrical - Panelboards & Breakers: Missing Identification of Disconnects at Panel
- ⊖ 8.5.2 Electrical - Panelboards & Breakers: Damage to Panel Cover
- ⊖ 8.5.3 Electrical - Panelboards & Breakers: Zinsco Panel
- ⊖ 8.7.1 Electrical - AFCIs: Missing AFCI
- ⊖
- 9.1.1 Attic, Insulation & Ventilation - Structural Components & Observations in Attic: Insulation covering soffit vents
- ⊖ 9.1.2 Attic, Insulation & Ventilation - Structural Components & Observations in Attic: Evidence of rodents
- ⊖
- 9.1.3 Attic, Insulation & Ventilation - Structural Components & Observations in Attic: Evidence of termites
- ⊖ 9.3.1 Attic, Insulation & Ventilation - Ventilation in Attic: Soffit vent covered
- ⊖ 10.2.1 Bathrooms - Sinks, Tubs & Showers: Damage at Fixture
- ⊖ 10.2.2 Bathrooms - Sinks, Tubs & Showers: Missing Component at Fixture
- 🔧 10.6.1 Bathrooms - Cabinetry, Ceiling, Walls & Floor: Wall Damage
- 🔧 10.6.2 Bathrooms - Cabinetry, Ceiling, Walls & Floor: Mirror Defect
- 🔧 11.1.1 Doors, Windows & Interior - Doors: Damaged Door Hardware
- ⊖ 11.2.1 Doors, Windows & Interior - Windows: Damaged Hardware at Window
- 🔧 11.2.2 Doors, Windows & Interior - Windows: Missing Hardware at Window
- ⊖ 11.3.1 Doors, Windows & Interior - Switches, Fixtures & Receptacles: Damaged Electrical Component
- ⊖ 11.3.2 Doors, Windows & Interior - Switches, Fixtures & Receptacles: Light Inoperable, Could Be Bulb
- ⊖ 11.4.1 Doors, Windows & Interior - Floors, Walls, Ceilings: Damaged flooring
- ⊖
- 11.7.1 Doors, Windows & Interior - Presence of Smoke and CO Detectors: Old Detectors, New Detectors Recommended
- ⊖ 11.7.2 Doors, Windows & Interior - Presence of Smoke and CO Detectors: Missing Smoke Detector
- ⊖ 11.7.3 Doors, Windows & Interior - Presence of Smoke and CO Detectors: Missing CO Detector
- ⊖ 12.1.1 Laundry - Clothes Washer: Missing GFCI Protection in Laundry
- ⊖ 12.3.1 Laundry - Laundry Room, Electric, and Tub: Missing AFCI Protection
- ⊖ 12.3.2 Laundry - Laundry Room, Electric, and Tub: Missing GFCI Protection
- ⊖ 12.3.3 Laundry - Laundry Room, Electric, and Tub: Missing Tamper Resistant Receptacle Type
- 🔧 13.4.1 Kitchen - Countertops & Cabinets: Worn Areas at Cabinets
- 🔧 13.4.2 Kitchen - Countertops & Cabinets: Cabinet Handle Missing/Loose

# 1: INSPECTION DETAIL

## Information

**General Inspection Info:**  
**Occupancy**  
Occupied

**General Inspection Info: Weather**  
**Conditions**  
Light Rain

**General Inspection Info: Type of**  
**Building**  
Single Family



**General Inspection Info: In Attendance**  
Just the Inspector

I prefer to have my client with me during my inspection so that we can discuss concerns, and I can answer all questions.



## We'll Buy Your Home Back



**If your home inspector misses anything, InterNACHI will buy your home back.**

And now for the fine print:

- It's valid for home inspections performed for home buyers or sellers by participating InterNACHI members.
- The home must be listed for sale with a licensed real estate agent.
- The Guarantee excludes homes with material defects not present at the time of the inspection, or not required to be inspected, per InterNACHI's Residential Standards of Practice.
- The Guarantee will be honored for 90 days after closing.
- We'll pay you whatever price you paid for the home.

Joe Theismann for InterNACHI's Buy Back Guarant...



Share



Watch on  YouTube

We'll Buy Your Home Guarantee



Watch on  YouTube

For more information, please visit [www.nachi.org/buy](http://www.nachi.org/buy).

## Details



InterNACHI is so certain of the integrity of our members that we back them up with our **\$10,000 Honor Guarantee**.

InterNACHI will pay up to \$10,000 USD for the cost of replacement of personal property lost during an inspection and stolen by an InterNACHI-certified member who was convicted of or pleaded guilty to any criminal charge resulting from the member's taking of the client's personal property.

For details, please visit [www.nachi.org/honor](http://www.nachi.org/honor).

## Limitations

General Inspection Info

**THE CLIENT DID NOT ATTEND**

REPLACE THIS VIDEO WITH A VIDEO OF YOU Talking About ...



Watch on  YouTube

We invited the client to attend their home inspection. Unfortunately, my client did not attend the home inspection. The client did not learn what the home inspector desired to teach the client about the house. The client was unable to follow the home inspector through the house and ask questions during the inspection. The client's concerns at the time of the inspection were not addressed. This was a restriction and limitation of the home inspection.

## 2: ROOF

### Information

---

#### Roof Covering: Homeowner's Responsibility

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars or drone. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

#### Roof Covering: Type of Roof-Covering Described

##### Wood

I observed the roof-covering material and attempted to identify its type.

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.



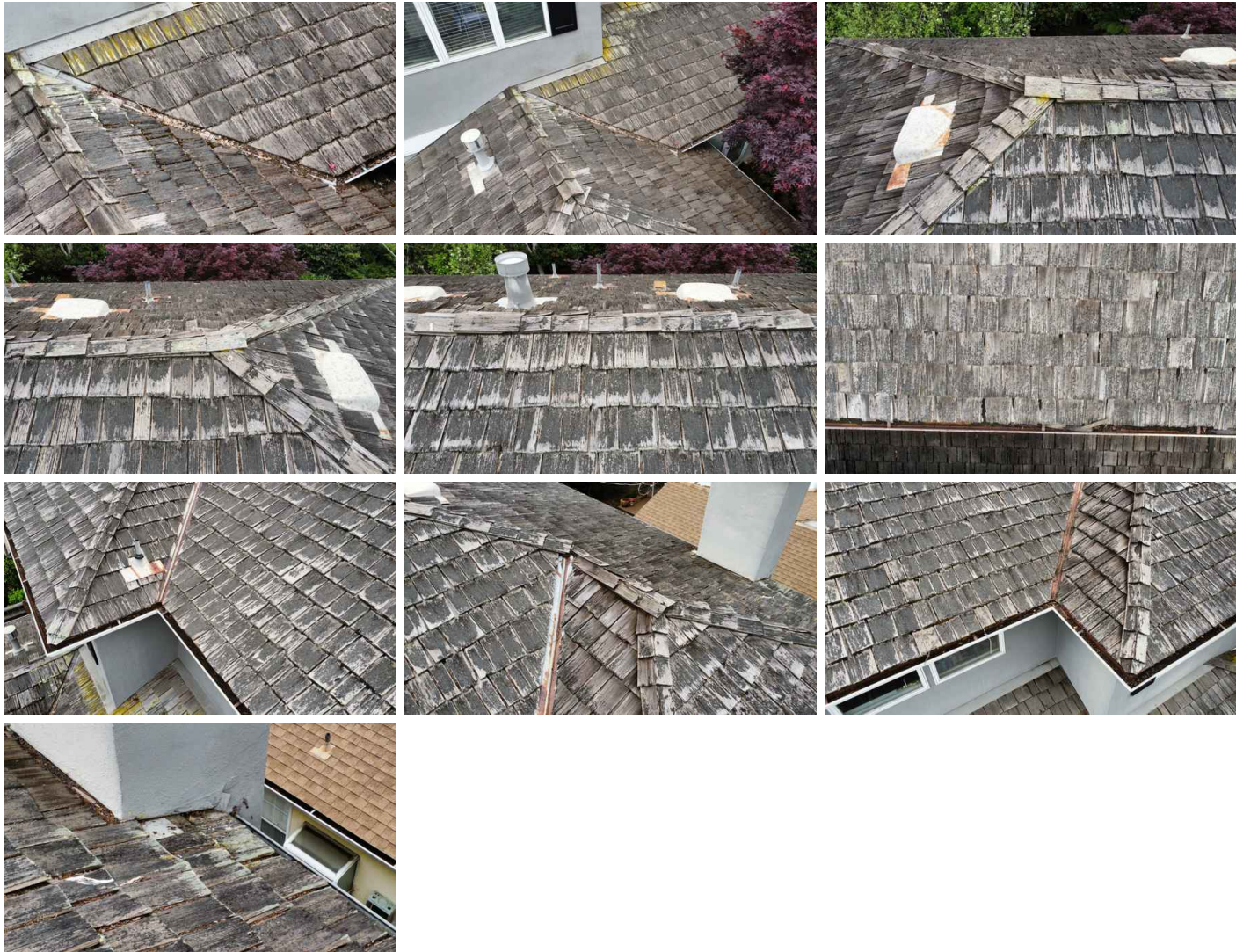


Roof Covering: Roof Was Inspected

Roof, Drone

We attempted to inspect the roof from various locations and methods, including from the ground and a ladder.

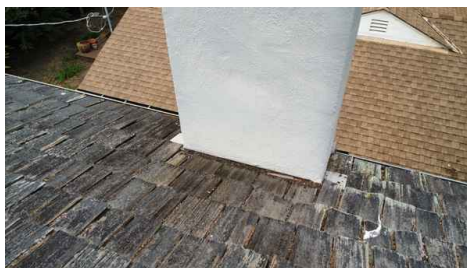
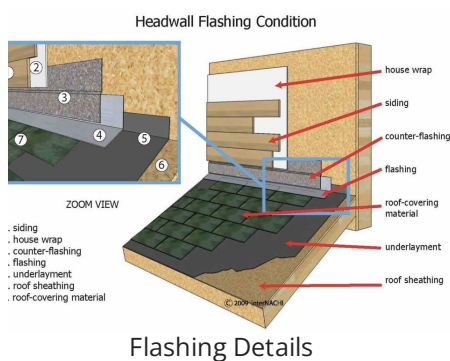
The inspection was not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.





## Flashing: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations. This is not an exhaustive inspection of all flashing areas.



## Flashing: Eaves and Gables

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof). There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.



## Gutters & Downspouts: Homeowner's Responsibility

Your job is to monitor the gutters and be sure that they function during and after a rainstorm. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted far away from the house foundation.



## Gutters & Downspouts: Gutters Were Inspected

I inspected the gutters. I wasn't able to inspect every inch of every gutter. But I attempted to check the overall general condition of the gutters during the inspection and look for indications of major defects.

Monitoring the gutters during a heavy rain (without lightening) is recommended. In general, the gutters should catch rain water and direct the water towards downspouts that discharge the water away from the house foundation.

## Limitations

Roof Covering

### UNABLE TO SEE EVERYTHING

This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or accessible at all, including the underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

Roof Covering

### UNABLE TO WALK UPON ROOF SURFACE

According to the Home Inspection Standards of Practice, a home inspector is not required to walk upon any roof surface. However, as courtesy only, I attempted to walk upon the roof surface, but was unable. It was not safe. It was not accessible. This was a restriction to my inspection of the roof system. You may want to consider hiring a professional roofer with a lift to check your roof system.

Flashing

### DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

## Recommendations

2.1.1 Roof Covering

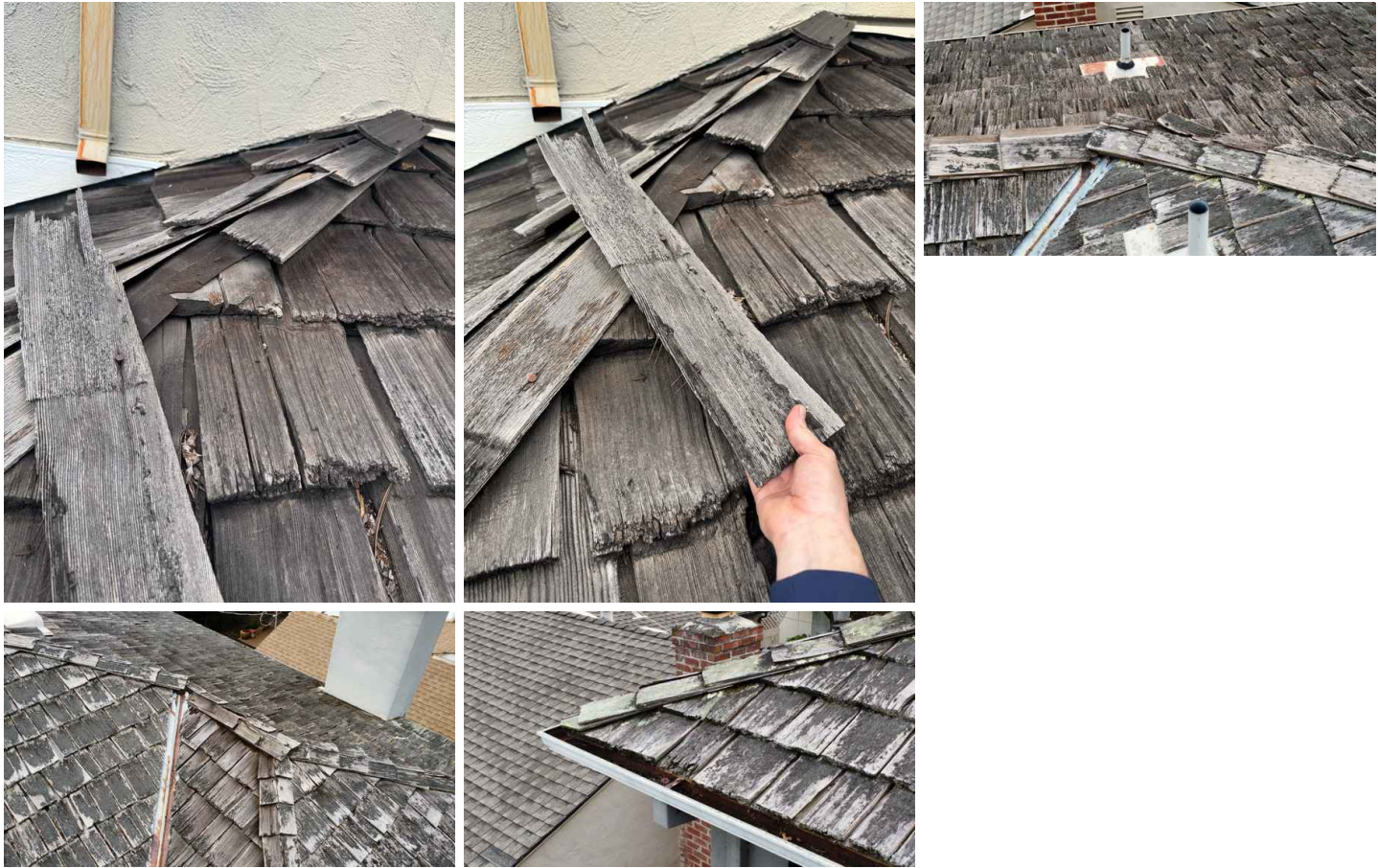
### CRACKED ROOF-COVERING MATERIAL

Major Defect

I observed cracked and damaged shingles. Prone to leaking. Correction and further evaluation by a professional roofer is recommended.

Recommendation

Contact a qualified roofing professional.



2.1.2 Roof Covering

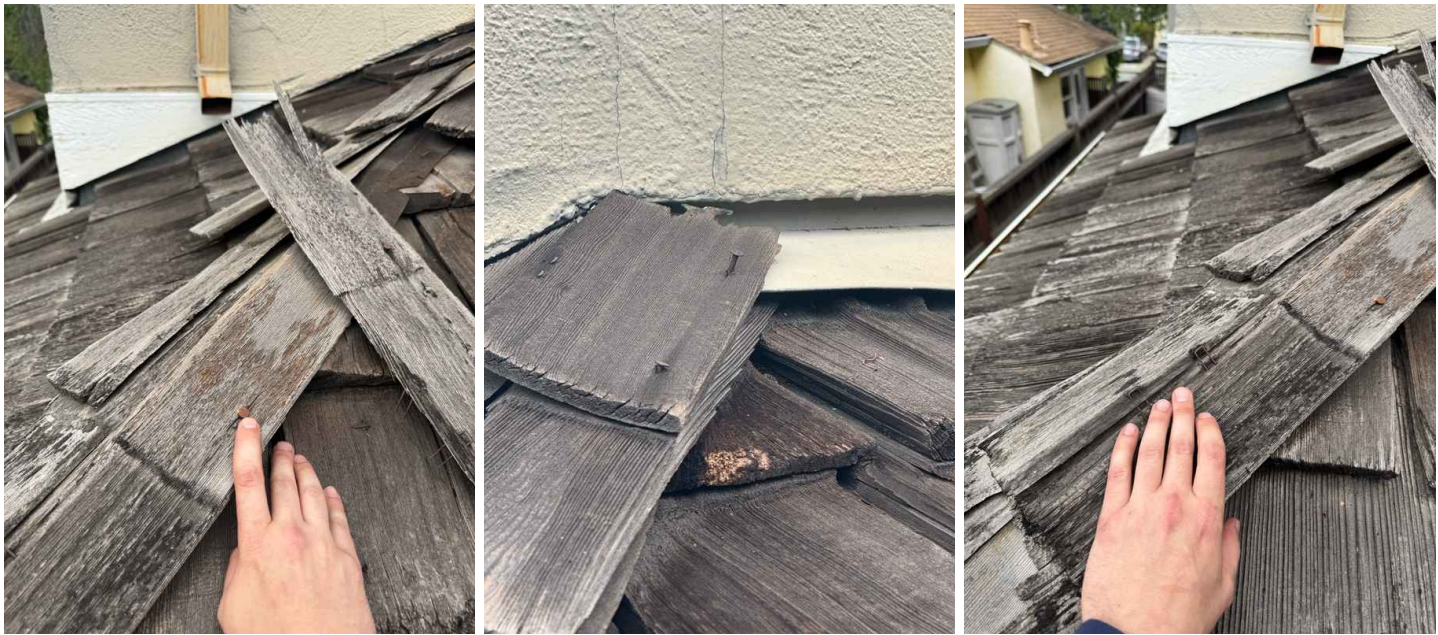
**EXPOSED FASTENERS**

 Major Defect

I observed indications of exposed fasteners at the roof-covering materials. Fasteners should not be exposed. Potential water entry points. Roof could leak. Further evaluation and correction is recommended.

Recommendation

Contact a qualified roofing professional.







### 2.1.3 Roof Covering

#### **DISCOLORATION STAIN FROM ALGAE**



I observed indications of staining and discoloration on the roof-covering materials. This condition seemed to be caused from algae. What we commonly call algae is actually not algae, but a type of bacteria capable of photosynthesis. Algae appears as dark streaks, which are actually the dark sheaths produced by the organisms to protect themselves from UV radiation. When environmental conditions are right, the problem can spread quickly across a roof.

Algae attaches itself to the shingle by secreting a substance that bonds it tightly to the surface. Growth can be difficult to remove without damaging the roof. The best method is prevention. Algae stains can sometimes be lightened in color by using special cleaners.

Power-washing and heavy scrubbing may loosen or dislodge granules. Chemicals used for cleaning shingles may damage landscaping. Also, the cleaning process makes the roof wet and slippery, so such work should be performed by a qualified professional.





2.1.4 Roof Covering

**TREE TOO CLOSE**

 Minor Defect

I observed indications that a tree and or tree branch where overhanging the roof and maybe in contact with it.

Recommendation

Contact a qualified tree service company.





## 2.1.5 Roof Covering

**OLD SYSTEM**

Minor Defect

I observed during my inspection that the system appeared to be old and at the end of its service life. It may not be reliable. Ask the homeowner or occupant about its recent performance. Regular maintenance and monitoring of its condition is recommended. Budgeting for repairs and future replacement is recommended. [InterNACHI's Standard Estimate Life Expectancy Chart for Homes](#)

## Recommendation

Recommend monitoring.

## 2.2.1 Flashing

**MISSING FLASHING**

Major Defect

I observed areas where flashing was missing. Not installed. Improper installation of flashing. These areas of missing flashing are prone to water penetration. Flashing is installed to provide protection against roof leaks and to divert water away from certain areas. Correction and further evaluation is recommended.

## Recommendation

Contact a qualified roofing professional.



## 2.2.2 Flashing

**CORRODED - MINOR**

Major Defect

Roof flashing showed signs of corrosion, but seemed to not be a major defect. Flashing should be monitored to prevent severe corrosion leading to moisture intrusion.

## Recommendation

Contact a qualified roofing professional.



2.3.1 Gutters & Downspouts

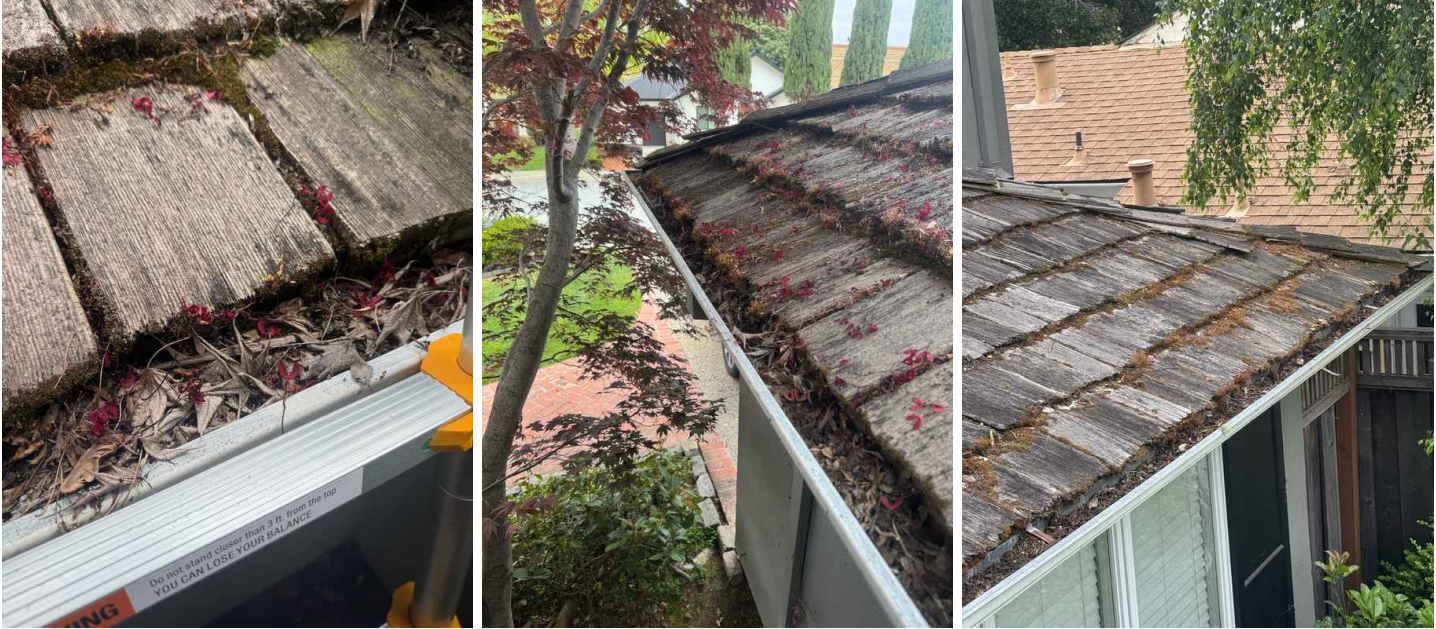
**DEBRIS IN GUTTERS**

 Minor Defect

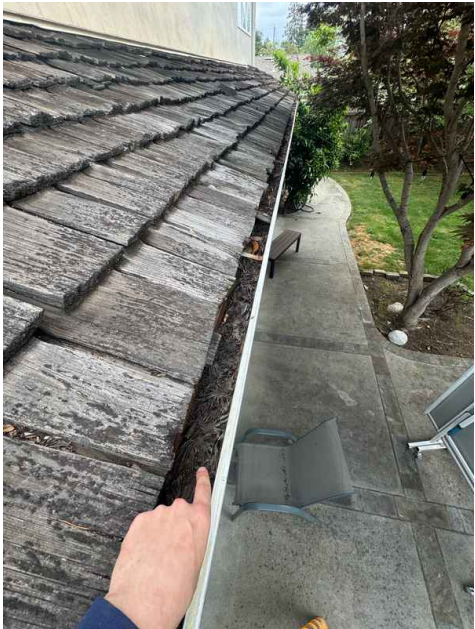
I observed debris in the gutter. Cleaning and maintenance is recommended.

Recommendation

Contact a qualified gutter contractor







2.3.2 Gutters & Downspouts

**GUTTER DAMAGED**

 Major Defect

I observed damage to the gutter. This is a defect that should be corrected by a professional contractor.

Recommendation

Contact a qualified gutter contractor

2.3.3 Gutters & Downspouts

**GUTTER LEAKAGE**

 Major Defect

I observed a water leak from a gutter, which could result in water not being properly collected and drained away. This is a defect that should be corrected by a professional contractor.

Recommendation

Contact a qualified gutter contractor







## 3: EXTERIOR

### Information

---

#### **General: Homeowner's Responsibility**

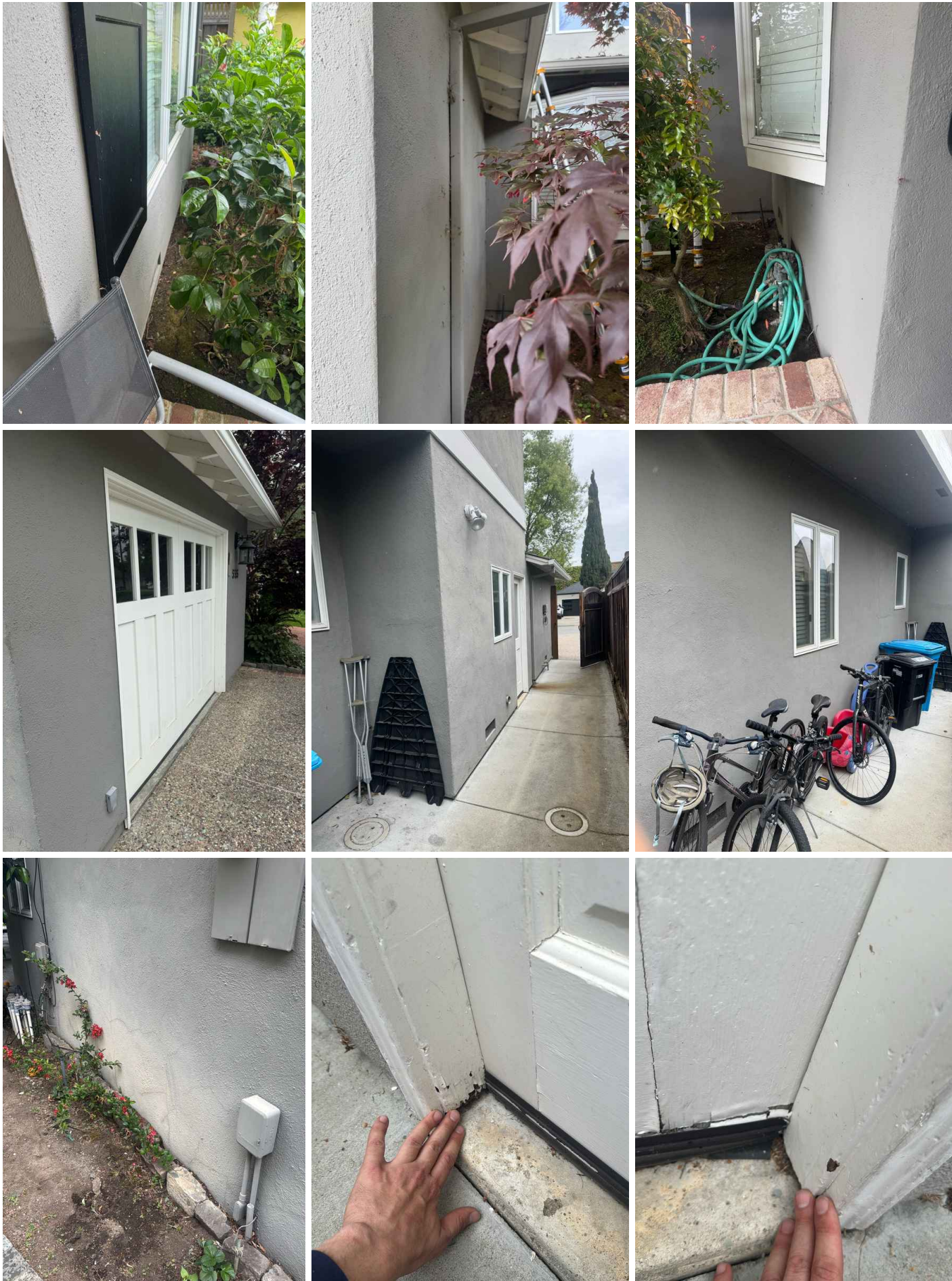
The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

General: Exterior Was Inspected

I inspected the exterior of the house.





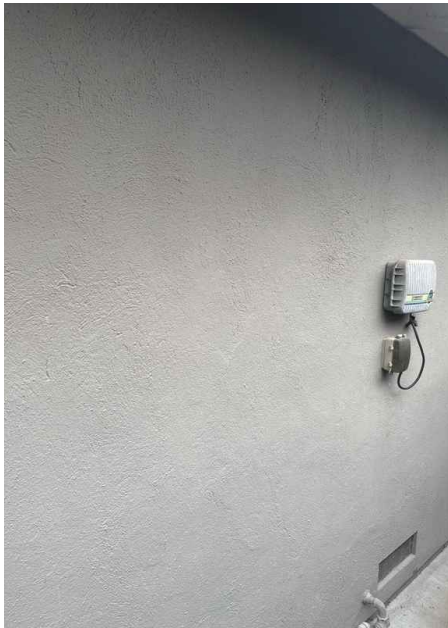
**Eaves, Soffits & Fascia: Eaves, Soffits and Fascia Were Inspected**

I inspected the eaves, soffits and fascia. I was not able to inspect every detail, since a home inspection is limited in its scope.

**Wall-Covering, Flashing & Trim: Type of Wall-Covering Material Described****Stucco**

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the house's exterior for its condition and weathertightness.

Check the condition of all exterior wall-covering materials and look for developing patterns of damage or deterioration.



**Wall-Covering, Flashing & Trim: Worn Out Areas of Exterior Wall-Covering**

I observed indications of worn out areas, delayed maintenance, or aging.





**GFCIs & Electrical: Inspected GFCIs**

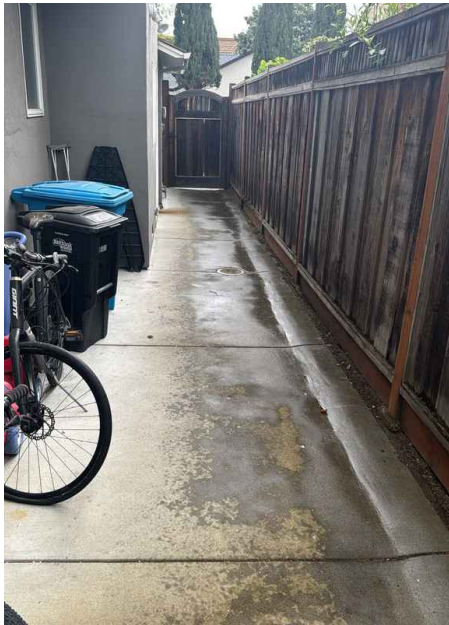
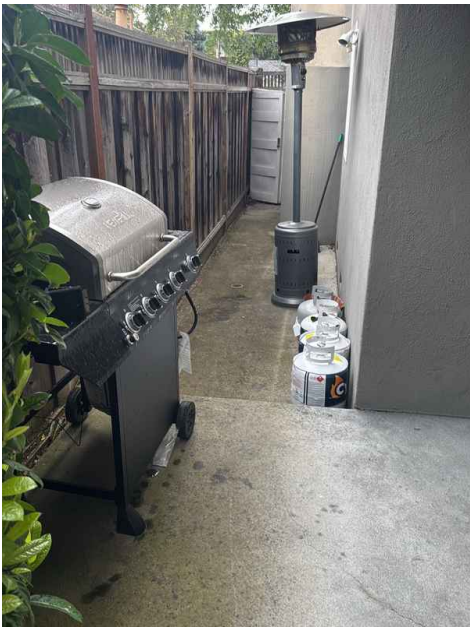
I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.





Walkways & Driveways: Walkways & Driveways Were Inspected

I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.





---

**Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected**

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of my home inspection.

All treads should be level and secure. Riser heights and tread depths should be as uniform as possible. As a guide, stairs must have a maximum riser of 7-3/4 inches and a minimum tread of 10 inches.

**Porches, Patios, Decks, Balconies & Carports: Porches, Patios, Decks, Balconies & Carports Were Inspected**

I inspected the porches, patios, decks, balconies and carports at the house that were within the scope of the home inspection.

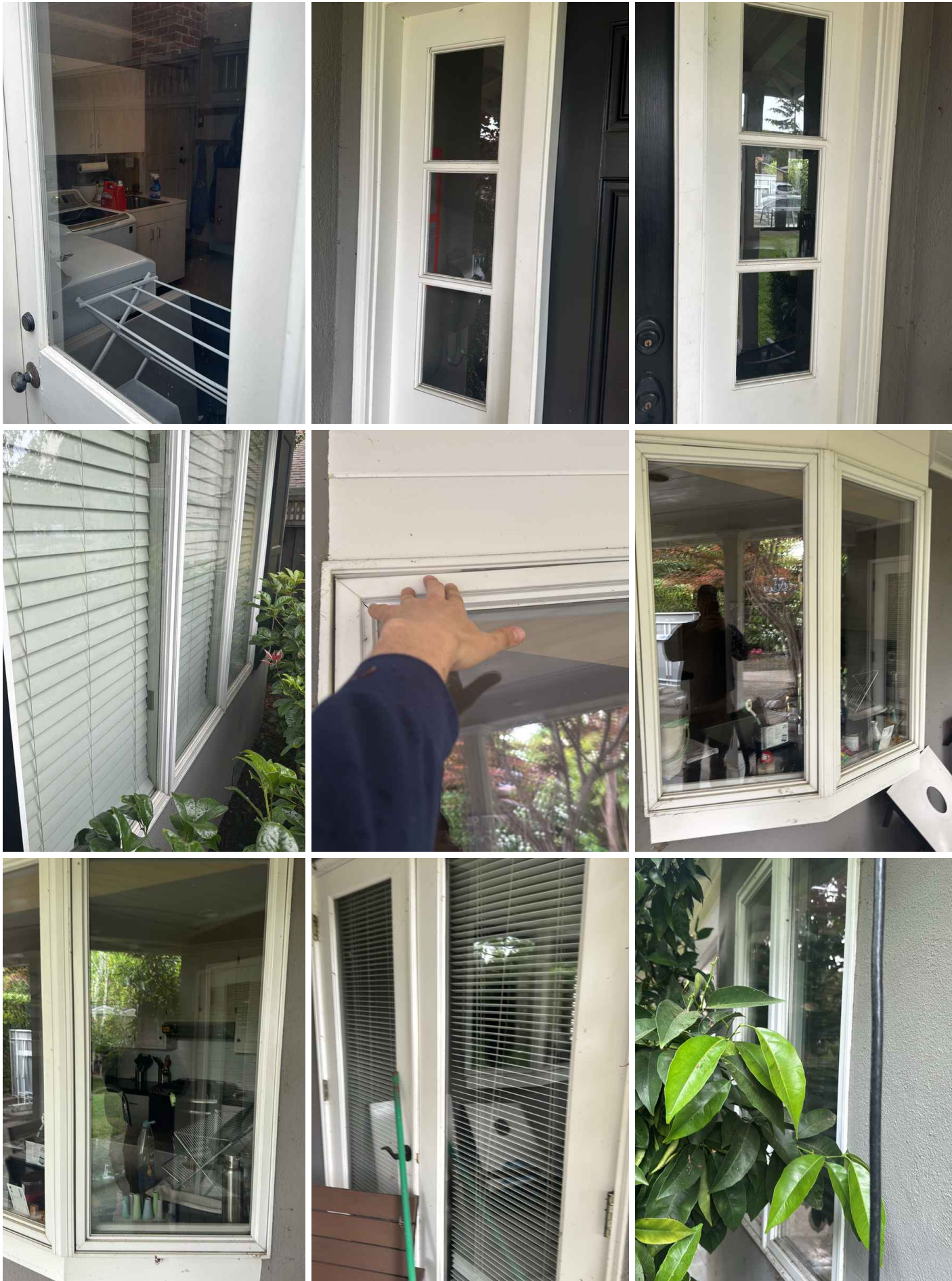
**Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected**

I inspected the railings, guards and handrails that were within the scope of the home inspection.



Windows: Windows Inspected

A representative number of windows from the ground surface was inspected.



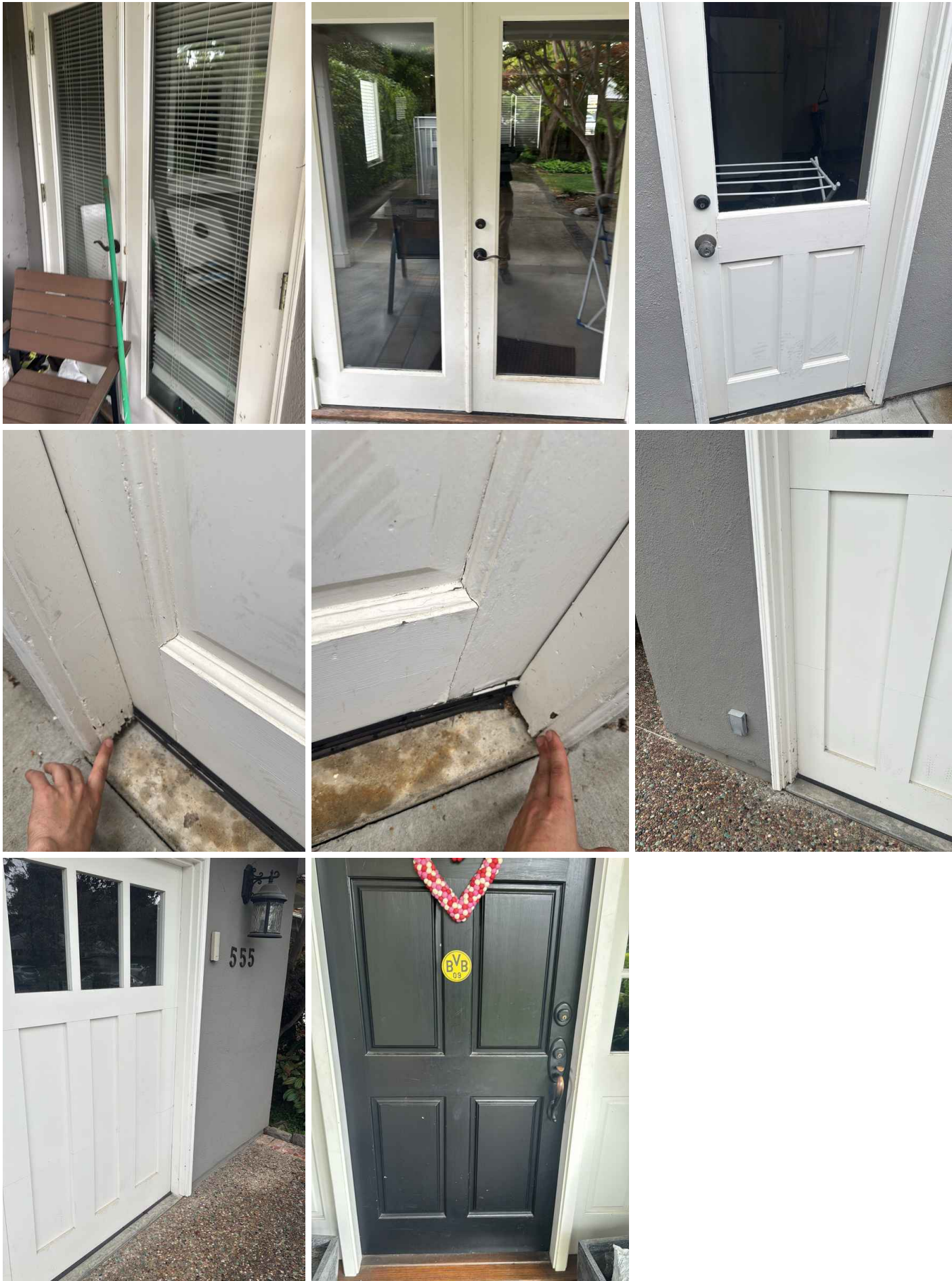






Exterior Doors: Exterior Doors Inspected

I inspected the exterior doors.



Limitations

Eaves, Soffits & Fascia

INSPECTION WAS RESTRICTED

I did not inspect all of the eaves, soffit, and fascia. It's impossible to inspect those areas closely during a home inspection. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the eaves, soffit, and fascia.

Wall-Covering, Flashing & Trim

INSPECTION WAS RESTRICTED

I did not inspect all of the exterior wall-covering material. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the exterior wall-covering.

Recommendations

3.2.1 Eaves, Soffits & Fascia

DAMAGE OBSERVED AT FASCIA

Major Defect

I observed indications that one or more areas of the fascia were damaged. Correction and further evaluation is recommended.

Recommendation

Contact a qualified general contractor.



3.2.2 Eaves, Soffits & Fascia

PAINT SURFACE IN POOR CONDITION

Major Defect

I observed indications of paint or staining in poor condition. Flaking, cracking, and worn areas. Correction and further evaluation is recommended.



Recommendation  
Contact a qualified painting contractor.

3.3.1 Wall-Covering, Flashing & Trim

**CRACKING - MINOR**

Siding showed cracking in one or more places. Recommend monitoring.

Recommendation  
Recommended DIY Project

 Minor Defect



3.3.2 Wall-Covering, Flashing & Trim

**INADEQUATE GROUND CLEARANCE**

I checked the distance between the bottom of wood components and the ground surface (or grade). In locations that have little or no snow, the distance should be no less than 8 inches. In locations with significant lasting snow, the bottom of wood elements should be no less than 8 inches above the average snow depth.

Correction and further evaluation is recommended.

Recommendation  
Contact a qualified siding specialist.

 Minor Defect



3.4.1 Vegetation, Surface Drainage, Retaining Walls & Grading

 Major Defect

**FENCE DEFECT**

I observed that the condition of the fence in many areas is poor.

Recommendation

Contact a qualified fencing contractor



3.5.1 GFCIs & Electrical

 Major Defect

**GFCI WOULDN'T RESET**

The tested GFCI would not reset.

Recommendation

Contact a qualified electrical contractor.



3.6.1 Walkways & Driveways

 Minor Defect

**MAJOR CRACKING AT DRIVEWAY**

I observed indications of major cracking at the driveway.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified concrete contractor.





## 3.11.1 Exterior Doors

**WOOD ROT AT DOOR**

I observed wood rot at the exterior door.

Correction and further evaluation is recommended.

Recommendation

Contact a qualified professional.



Minor Defect



## 3.11.2 Exterior Doors

**EXTERIOR DOOR SURFACE IN POOR CONDIIION**

I observed that the surface of the exterior door was in poor condition.

Correction and further evaluation is recommended.



Minor Defect

Recommendation  
Contact a handyman or DIY project





# 4: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

## Information

**Basement: Type of Basement Foundation Described**  
Concrete



**Insulation in Foundation/Basement Area: Type of Insulation Observed**  
Fiberglass, Spray Foam

**Ventilation in Foundation/Basement Area: Insulation Type**  
Fiberglass

**Under-Floor Crawlspace: Type of Under-Floor Crawlspace Foundation Described**  
Dirt



**Under-Floor Crawlspace: Under-Floor Crawl Access Location**  
Garage

**Insulation in Crawlspace: Type of Insulation Observed**  
Fiberglass

**Ventilation in Crawlspace:****Insulation Type**

Fiberglass

**Basement: Homeowner's Responsibility**

One of the most common problems in a house is a wet basement or foundation. You should monitor the walls and floors for signs of water penetration, such as dampness, water stains, peeling paint, efflorescence, and rust on exposed metal parts. In a finished basement, look for rotted or warped wood paneling and doors, loose floor tiles, and mildew stains. It may come through the walls or cracks in the floor, or from backed-up floor drains, leaky plumbing lines, or a clogged air-conditioner condensate line.

Basement: Foundation Was Inspected

The foundation was inspected according to the [Home Inspection Standards of Practice](#).





### Basement: Structural Components Were Inspected

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.



### Insulation in Foundation/Basement Area: Insulation Was Inspected

During the home inspection, I inspected for insulation in unfinished spaces, including attics, crawlspaces and foundation areas. I inspected for ventilation of unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I attempted to describe the type of insulation observed and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

I reported as in need of correction the general absence of insulation or ventilation in unfinished spaces.



### Insulation in Foundation/Basement Area: Approximate Average Depth of Insulation

6-9 inches

Determining how much insulation should be installed in a house depends upon where a home is located. proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

This house is located in a climate zone that requires an R-value of

### Ventilation in Foundation/Basement Area: Ventilation Inspected

During the home inspection, I inspected for insulation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I report as in need of correction the general absence of ventilation in unfinished spaces.



### Ventilation in Foundation/Basement Area: Attic Insulation Thickness

6-9 inches

Determining how much insulation should be installed in a house depends upon where a home is located. proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

This house is located in a climate zone that requires an R-value of

### Under-Floor Crawlspace: Homeowner's Responsibility

One of the most common problems in a house with a crawlspace is water intrusion, condensation, and excessively high humidity levels. You should monitor the walls and floors for signs of water penetration, such as dampness, water stains, efflorescence, and rust on exposed metal parts. Water may come through the walls or cracks in the floor, or from backed-up floor drains, leaky plumbing lines, or a clogged air-conditioner condensate line.



Under-Floor Crawlspaces: Under-Floor Crawlspaces Inspected

The under-floor crawlspace area was inspected according to the Home Inspection Standards of Practice.

The crawlspace can be a revealing area in the house and often provides a general picture of how the entire structure works. In many crawlspaces, the structure is exposed overhead, as are the HVAC distribution system, plumbing supply and DWV lines, and the electrical branch-circuit wiring. I inspected those systems and components.







### Under-Floor Crawlspace: Structural Components Inspected

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.



### Insulation in Crawlspace: Approximate Average Depth of Insulation

6-9 inches

Determining how much insulation should be installed in a house depends upon where a home is located. proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

This house is located in a climate zone that requires an R-value of

### Ventilation in Crawlspace: Ventilation Inspected

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I report as in need of correction the general absence of ventilation in unfinished spaces.

## Ventilation in Crawlspace: Attic Insulation Thickness

6-9 inches

Determining how much insulation should be installed in a house depends upon where a home is located. proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

This house is located in a climate zone that requires an R-value of



## 5: HEATING

### Information

#### Heating System Information:

##### Heating Method

Warm-Air Heating System

#### Heating System Information: Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

**It's your job** to get the HVAC system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

#### Heating System Information: Energy Source

Gas





**Thermostat and Normal Operating Controls: Thermostat Location**

Multiple thermostats

**Thermostat and Normal Operating Controls: Emergency Shut-Off Switch Inspected**

I observed an emergency shut-off switch. I inspected it. It worked when I used it during my inspection.

**Thermostat and Normal Operating Controls: Service Switch Inspected**

I observed a service switch. I inspected it. It worked when I used it during my inspection.

## 6: COOLING

### Information

---

#### Cooling System Information: Service Disconnect Inspected

I observed a service disconnect within sight of the cooling system.



#### Cooling System Information: Homeowner's Responsibility

Most air-conditioning systems in houses are relatively simple in design and operation. The adequacy of the cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

**It's your job** to get the air conditioning system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

## Thermostat and Normal Operating Controls: Thermostat Location

Multiple thermostats



## Thermostat and Normal Operating Controls: Emergency Shut-Off Switch Inspected

I observed an emergency shut-off switch. I inspected it. It worked when I used it during my inspection.



## Thermostat and Normal Operating Controls: Service Switch Inspected

I observed a service switch. I inspected it. It worked when I used it during my inspection.

## Condensate: Condensate Discharge Confirmed

I observed a discharge pipe apparently connected to the condensate pump installed at the cooling system.

## Condensate: Condensate Pump

I observed a condensate pump installed at the cooling system. This component collects condensate water that is created when the cooling system is operating. The condensate pump should collect and discharge the water properly.

## Limitations



Cooling System Information

**COOL TEMPERATURE RESTRICTION**

Because the outside temperature was too cool to operate the air conditioner without the possibility of damaging the system, I did not operate the cooling system. Inspection restriction. Ask the homeowner about the system, including past performance.

## 7: PLUMBING

### Information

**Main Water Shut-Off Valve:**  
**Location of Main Shut-Off Valve**  
Outside of House



**Hot Water Source: Inspected**  
**Seismic Bracing**

I inspected the seismic bracing for the hot water tank.



**Main Water Shut-Off Valve: Homeowner's Responsibility**

**It's your job** to know where the main water and fuel shutoff valves are located. And be sure to keep an eye out for any water and plumbing leaks.

**Water Supply : Water Supply Is Public**

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.

## Hot Water Source: Type of Hot Water Source

### Gas-Fired Hot Water Tank

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.



## Hot Water Source: Inspected Hot Water Source

I inspected the hot water source and equipment according to the [Home Inspection Standards of Practice](#).





**Hot Water Source: Inspected TPR Valve**

I inspected the temperature and pressure relief valve.

**Hot Water Source: Inspected Venting Connections**

I inspected the venting connections.



**Drain, Waste, & Vent Systems: Inspected Drain, Waste, Vent Pipes**

I attempted to inspect the drain, waste, and vent pipes. Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water and sewer leaks or blockages in the past.

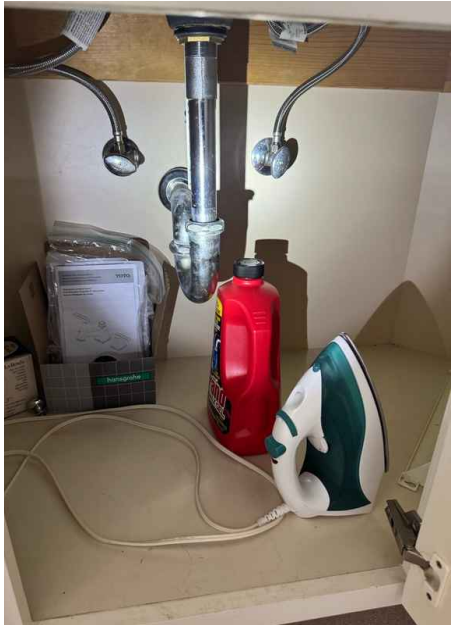


**Water Supply & Distribution Systems: Inspected Water Supply & Distribution Pipes**

I attempted to inspect the water supply and distribution pipes (plumbing pipes). Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water supply, problems with water supply, and water leaks in the past.

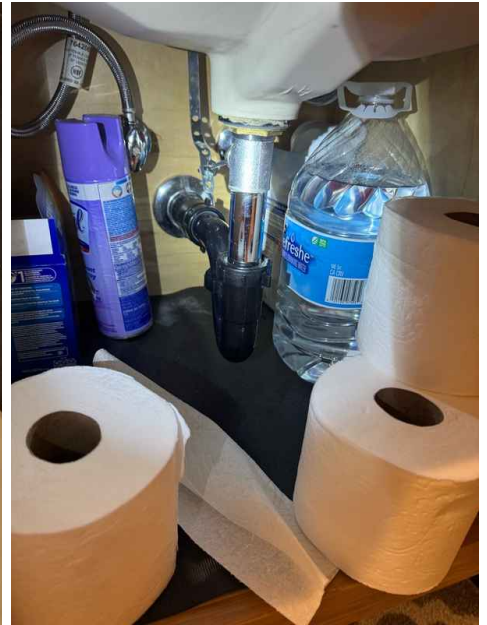












## Limitations

Main Water Shut-Off Valve

### **INACCESSIBLE**

I observed conditions that made the inspection of the main water shut-off valve inaccessible. Inspection restriction.



Drain, Waste, & Vent Systems

### **NOT ALL PIPES WERE INSPECTED**

The inspection was restricted because not all of the pipes were exposed, readily accessible, and observed. For example, most of the drainage pipes were hidden within the walls.

Water Supply & Distribution Systems

### **NOT ALL PIPES WERE INSPECTED**

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. For example, most of the water distribution pipes, valves and connections were hidden within the walls.



Recommendations

7.3.1 Hot Water Source

DEFECT AT THE TPR VALVE

I observed a defect a the TPR (temperature, pressure, and relief) valve.

Recommendation

Contact a qualified plumbing contractor.

 Major Defect



7.3.2 Hot Water Source

DEFECT AT TPR VALVE DISCHARGE

 Major Defect



I observed a defect a the TPR (temperature, pressure, and relief) valve. The discharge pipe that serves a temperature pressure relief valve must:

- Not be connected to the drainage system.
- Discharge through an air gap located in the same room as the water heater.
- Not be smaller than the diameter of the outlet of the valve.
- Serve a single relief device.
- Discharge to the floor.
- Discharge in a manner that does not cause personal injury or structural damage.
- Discharge to a termination point that is readily observable.
- Not be trapped.
- Be installed so as to flow by gravity.
- Terminate no more than 6 inches above the floor or flood level rim of the waste receptor. And not less than 2 times the discharge pipe diameter.
- Not have valves or tee fittings.
- Be constructed of materials listed or rated for such use.
- Be one nominal size larger that the size of the relief valve outlet, where the relief valve discharge piping is installed with insert fittings.

Recommendation  
Contact a qualified plumbing contractor.

7.3.3 Hot Water Source

MISSING CATCH PAN UNDER TANK

 Minor Defect

I observed that the hot water tank is missing a water leak catch pan.

Recommendation  
Contact a qualified professional.



7.5.1 Water Supply & Distribution Systems

DEFICIENCY IN THE HOT & COLD WATER SUPPLY

 Major Defect

I observed indications of a defect in the hot and cold water supply.

Recommendation  
Contact a qualified plumbing contractor.





## 8: ELECTRICAL

### Information

#### Electric Meter & Base: Inspected the Electric Meter & Base

I inspected the electrical electric meter and base.



#### Service-Entrance Conductors: Inspected Service-Entrance Conductors

I inspected the electrical service-entrance conductors.



#### Main Service Disconnect: Inspected Main Service Disconnect

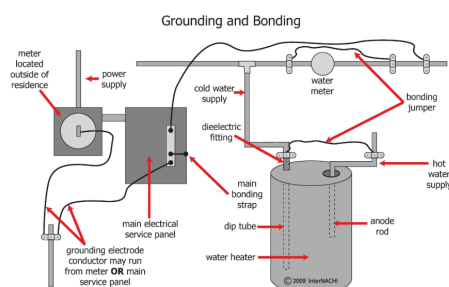
I inspected the electrical main service disconnect.

#### Electrical Wiring: Type of Wiring, If Visible

NM-B (Romex)

#### Service Grounding & Bonding: Inspected the Service Grounding & Bonding

I inspected the electrical service grounding and bonding.



#### Main Service Disconnect: Homeowner's Responsibility

**It's your job** to know where the main electrical panel is located, including the main service disconnect that turns everything off.

Be sure to test your GFCIs, AFCIs, and smoke detectors regularly. You can replace light bulbs, but more than that, you ought to hire an electrician. Electrical work is hazardous and mistakes can be fatal. Hire a professional whenever there's an electrical problem in your house.

**Main Service Disconnect: Main Disconnect Rating, If Labeled**

100

I observed indications of the main service disconnect's amperage rating. It was labeled.

**Panelboards & Breakers: Inspected Main Panelboard & Breakers**

I inspected the electrical panelboards and over-current protection devices (circuit breakers and fuses).

**AFCIs: Inspected AFCIs**

I inspected receptacles observed that were deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible.

**GFCIs: Inspected GFCIs**

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

**Limitations**

## Electrical Wiring

**UNABLE TO INSPECT ALL OF THE WIRING**

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.

## Service Grounding &amp; Bonding

**UNABLE TO CONFIRM PROPER GROUNDING AND BONDING**

I was unable to confirm proper installation of the system grounding and bonding according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the grounding and bonding as much as I could according to the Home Inspection Standards of Practice.

## AFCIs

**UNABLE TO INSPECT EVERYTHING**

I was unable to inspect every electrical component or proper installation of the AFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

## GFCIs

**UNABLE TO INSPECT EVERYTHING**

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

## Recommendations

## 8.5.1 Panelboards &amp; Breakers

**Major Defect****MISSING IDENTIFICATION OF DISCONNECTS AT PANEL**

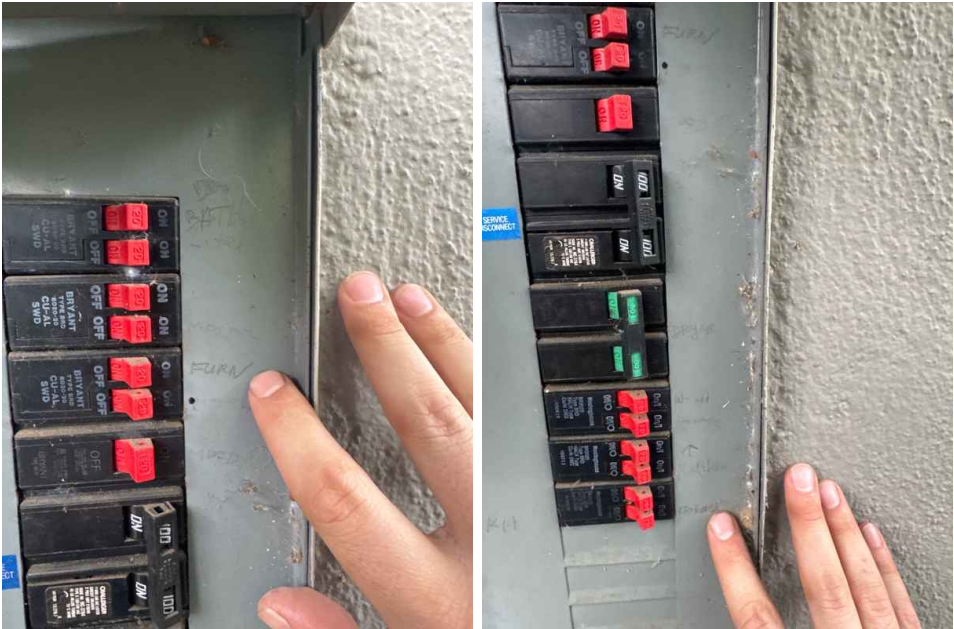
I observed missing/inadequate identification of each circuit.

Each circuit must be clearly identified as to its purpose. No two circuits should be labeled the same.

## Recommendation

Contact a qualified electrical contractor.





8.5.2 Panelboards & Breakers

**DAMAGE TO PANEL COVER**

 Major Defect

I observed damage and a defect at the electrical panel cover.

Recommendation

Contact a qualified professional.



8.5.3 Panelboards & Breakers

**ZINSCO PANEL**

 Major Defect

I observed indications that the panelboard was manufactured by Zinsco. These panels have a reputation for being problematic and further evaluation by a qualified electrician is recommended. Zinsco panels can generally be identified by a blue and silver "Zinsco" label inside the panel, an embossed "Magnetrip" label at the top of the panel face, and the colorful breakers.

- There may be components of the panel that contain aluminum.
- The connection between the breakers and the bus bar may be defective.
- The bus bar may be corroded.
- Breakers may be turned off, but the circuit could still be live.

The obsolete and unreliable Zinsco panel should be further evaluated and replaced by a licensed electrician.

#### Recommendation

Contact a qualified electrical contractor.



#### 8.7.1 AFCIs

### MISSING AFCI



Major Defect

I observed indications that an AFCI is missing in an area that is required to keep the house safe.

#### Recommendation

Contact a qualified electrical contractor.



## 9: ATTIC, INSULATION & VENTILATION

### Information

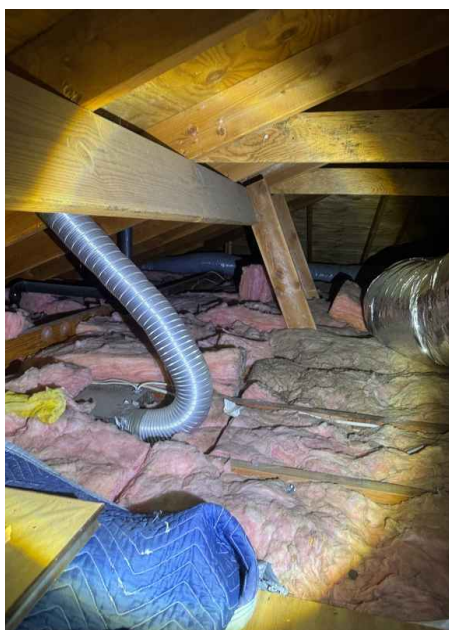
#### Insulation in Attic: Type of

#### Insulation Observed

Fiberglass

#### Structural Components & Observations in Attic: Structural Components Were Inspected

Structural components were inspected from the attic space according to the [Home Inspection Standards of Practice](#).





Insulation in Attic: Insulation Was Inspected

During the home inspection, I inspected for insulation in unfinished spaces, including attics, crawlspaces and foundation areas. I inspected for ventilation of unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I attempted to describe the type of insulation observed and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

I reported as in need of correction the general absence of insulation or ventilation in unfinished spaces.



Insulation in Attic: Approximate Average Depth of Insulation

6-9 inches

Determining how much insulation should be installed in a house depends upon where a home is located. The amount of insulation that should be installed at a particular area of a house is dependent upon which climate zone the house is located and the local building codes.

Ventilation in Attic: Ventilation Inspected

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected for mechanical exhaust systems.

I report as in need of correction the general absence of ventilation in unfinished spaces.

Limitations

Structural Components & Observations in Attic

**COULD NOT SEE EVERYTHING IN ATTIC**

I could not see and inspect everything in the attic space. The access is restricted and my inspection is limited.

Recommendations

9.1.1 Structural Components & Observations in Attic

**INSULATION COVERING SOFFIT VENTS**

There were areas where insulation was covering soffit vents not allowing for proper ventilation

Major Defect

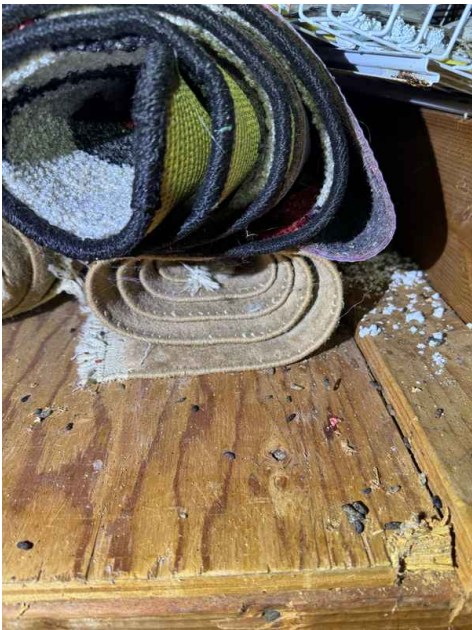


9.1.2 Structural Components & Observations in Attic

**EVIDENCE OF RODENTS**

There were rodent droppings present during the inspection

 Major Defect



9.1.3 Structural Components & Observations in Attic

**EVIDENCE OF TERMITES**

There was evidence of termite damage during the inspection.

 Major Defect



9.3.1 Ventilation in Attic

**SOFFIT VENT COVERED**

 Major Defect

There were soffit vents covered with insulation at the time of the inspection





## 10: BATHROOMS

### Information

#### Heat Source in Bathroom: Heat Source in Bathroom Was Inspected

I inspected the heat source in the bathroom (register/baseboard).

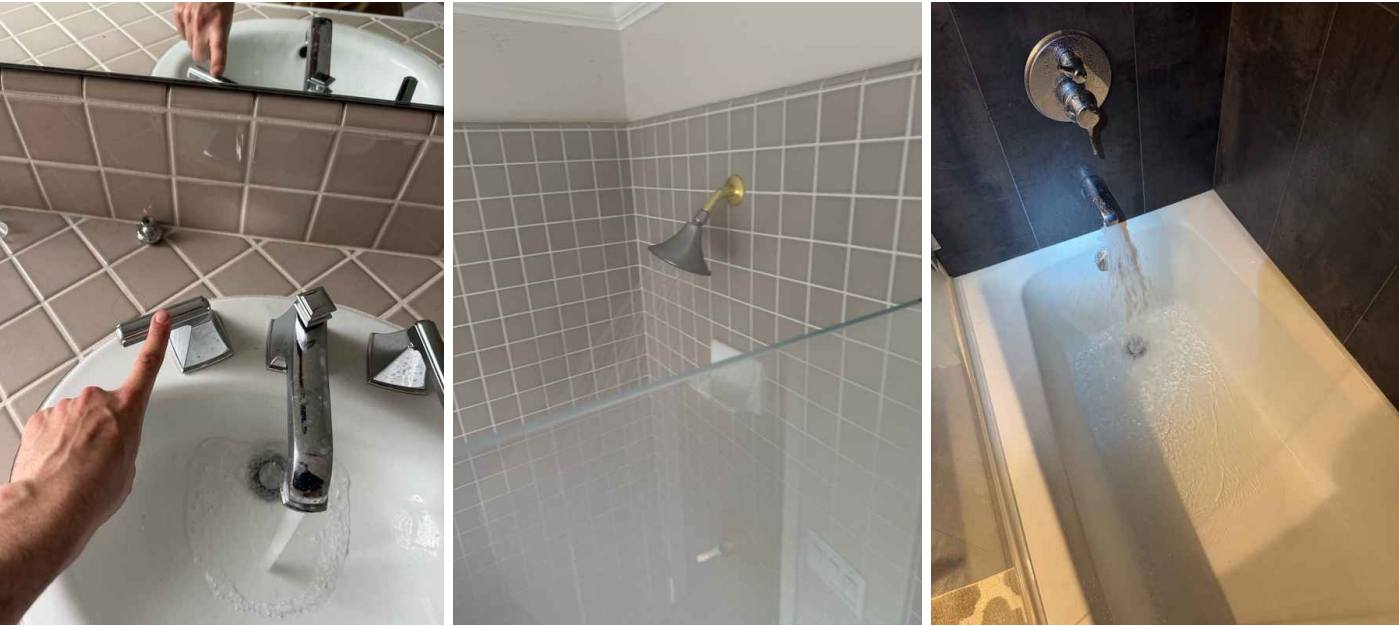
#### Bathroom Toilets: Toilets Inspected

I flushed all of the toilets.



Sinks, Tubs & Showers: Ran Water at Sinks, Tubs & Showers

I ran water at all bathroom sinks, bathtubs, and showers. I inspected for deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously.



Bathroom Exhaust Fan / Window: Inspected Bath Exhaust Fans

I inspected the exhaust fans of the bathroom(s). All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.



GFCI & Electric in Bathroom: GFCI-Protection Tested

I inspected the GFCI-protection at the receptacle near the bathroom sink by pushing the test button at the GFCI device or using a GFCI testing instrument.

All receptacles in the bathroom must be GFCI protected.

Recommendations

10.2.1 Sinks, Tubs & Showers  
**DAMAGE AT FIXTURE**

 Major Defect

I observed damage at the fixture.

Recommendation  
Contact a qualified plumbing contractor.



10.2.2 Sinks, Tubs & Showers  
**MISSING COMPONENT AT FIXTURE**

I observed a missing component at the fixture.

Recommendation  
Contact a qualified plumbing contractor.

 Major Defect







10.6.1 Cabinetry, Ceiling, Walls & Floor

**WALL DAMAGE**

I observed damage at the bathroom wall.

Recommendation

Contact a qualified handyman.

 Minor Defect



10.6.2 Cabinetry, Ceiling, Walls & Floor

**MIRROR DEFECT**

I observed indications of a defect at the mirror in the bathroom.

Recommendation

Recommended DIY Project

 Minor Defect



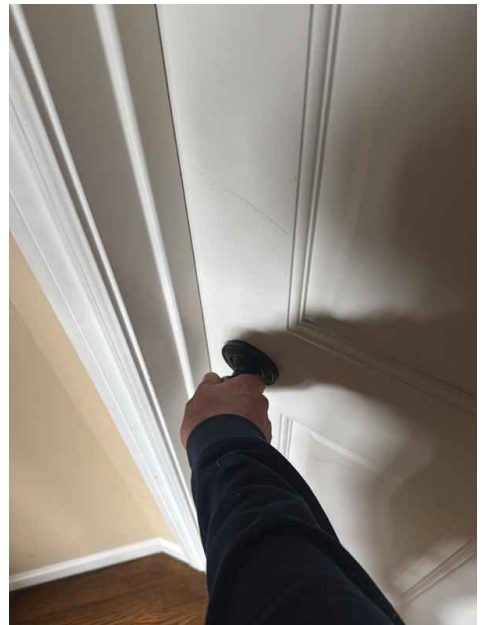
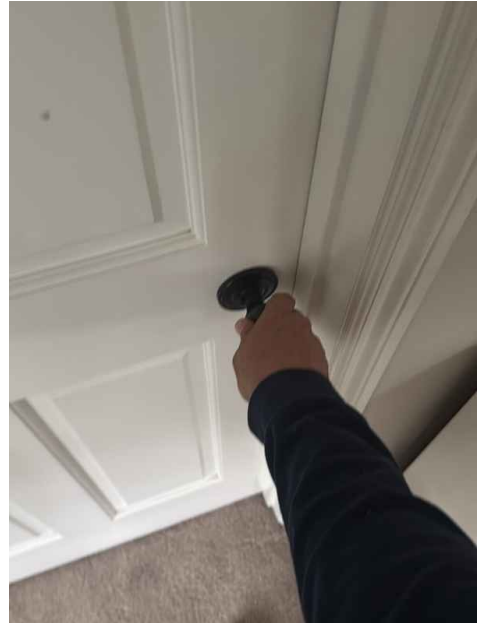
# 11: DOORS, WINDOWS & INTERIOR

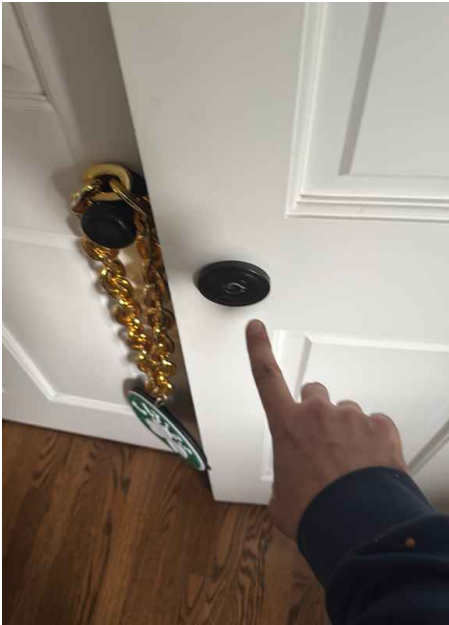
## Information



**Doors: Doors Inspected**

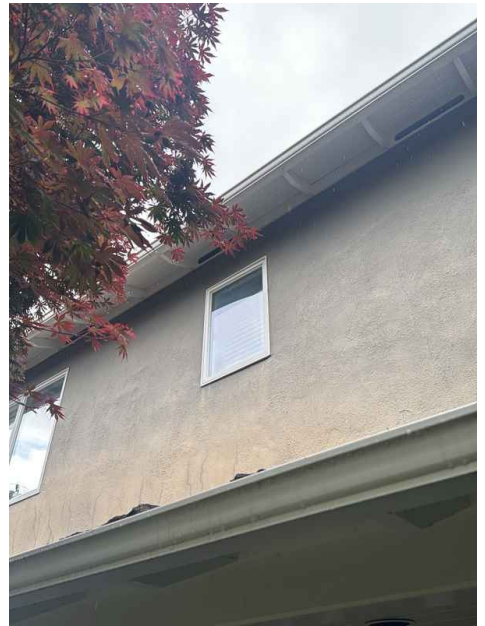
I inspected a representative number of doors according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate door locks and door stops, which is beyond the scope of a home inspection.





**Windows: Windows Inspected**

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.





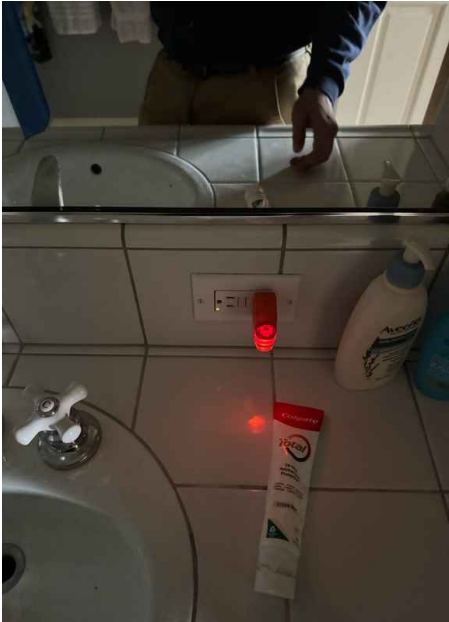
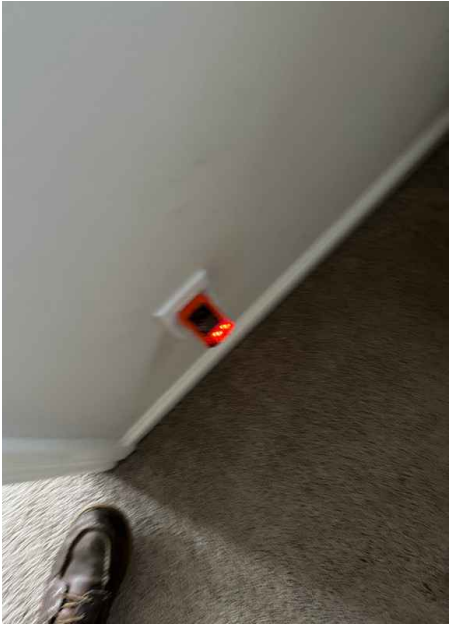






Switches, Fixtures & Receptacles: Inspected a Switches, Fixtures & Receptacles

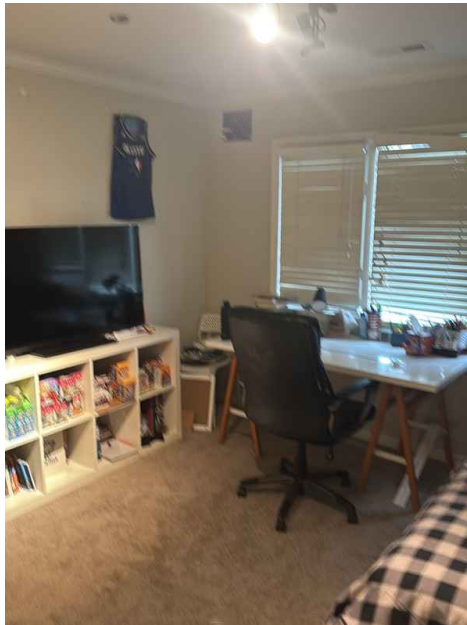
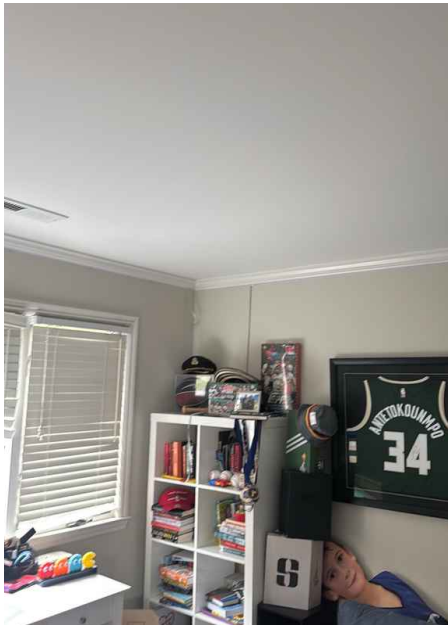
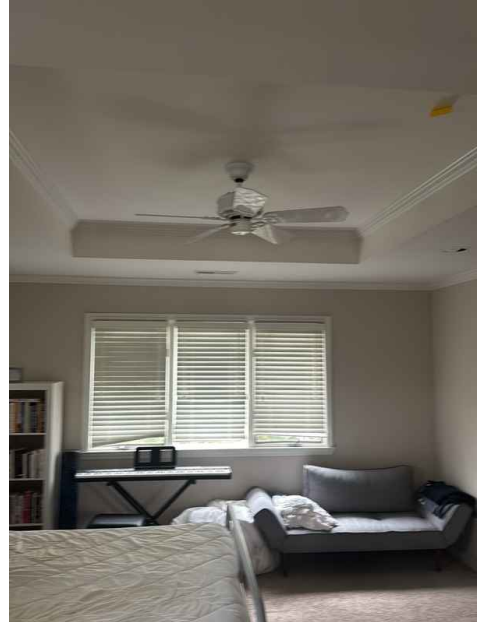
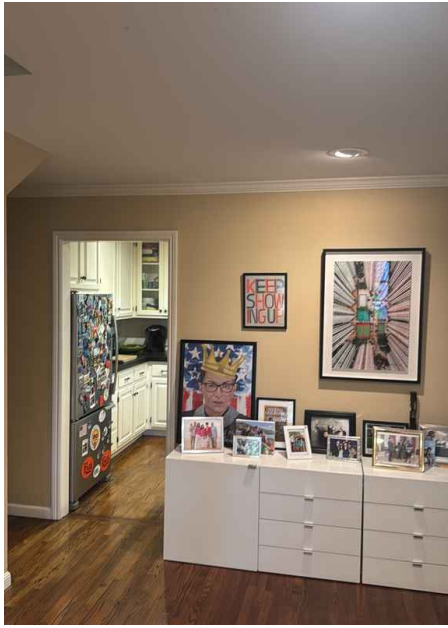
I inspected a representative number of switches, lighting fixtures and receptacles.





**Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected**

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).



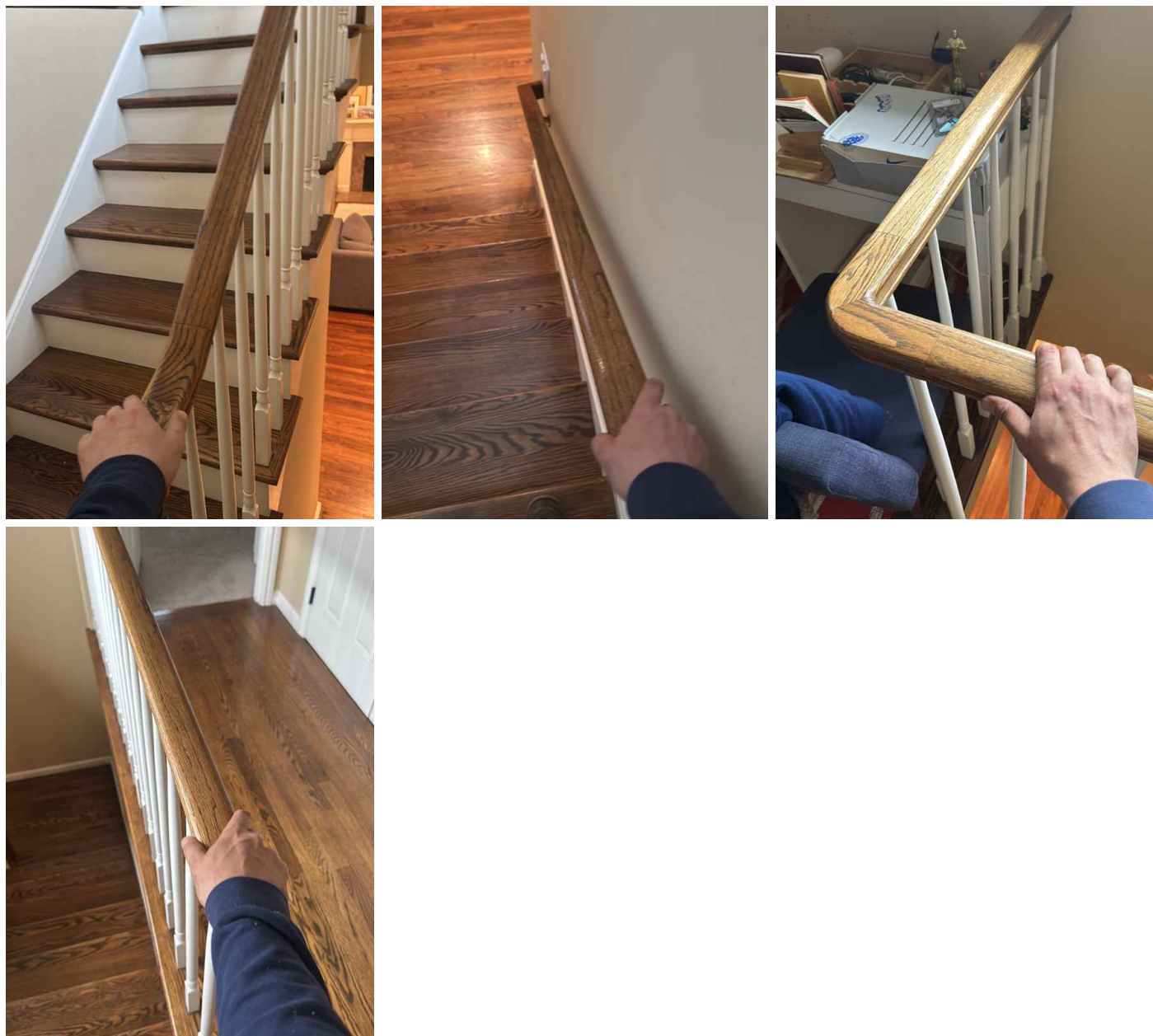
**Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected**

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of my home inspection.

All treads should be level and secure. Riser heights and tread depths should be as uniform as possible. As a guide, stairs must have a maximum riser of 7-3/4 inches and a minimum tread of 10 inches.

**Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected**

I inspected a representative number railings, guards and handrails that were within the scope of the home inspection.



**Presence of Smoke and CO Detectors: Inspected for Presence of Smoke and CO Detectors**

I inspected for the presence of smoke and carbon-monoxide detectors.

There should be a smoke detector in every sleeping room, outside of every sleeping room, and one every level of a house.

**Limitations**

Switches, Fixtures & Receptacles

**UNABLE TO INSPECT EVERYTHING**

I was unable to inspect every electrical component or proper installation of the system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.



Presence of Smoke and CO Detectors

UNABLE TO TEST EVERY DETECTOR

I was unable to test every detector. We recommend testing all of the detectors. Ask the seller about the performance of the detectors and of any issues regarding them. We recommend replacing all of the detectors (smoke and carbon monoxide) with new ones just for peace of mind and for safety concerns.

Recommendations

11.1.1 Doors

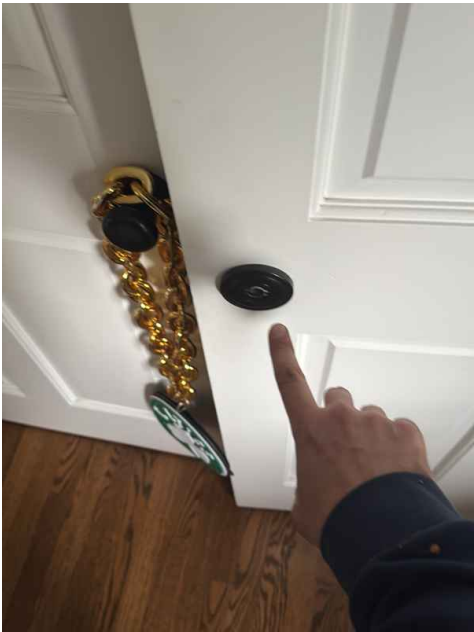
DAMAGED DOOR HARDWARE

I observed damage to the door hardware.

Recommendation

Contact a qualified door repair/installation contractor.

 Minor Defect



11.2.1 Windows

DAMAGED HARDWARE AT WINDOW

I observed damage to the hardware at a window.

Recommendation

Contact a qualified window repair/installation contractor.

 Major Defect



11.2.2 Windows

MISSING HARDWARE AT WINDOW

I observed missing hardware at a window.

 Minor Defect

## Recommendation

Contact a qualified window repair/installation contractor.



## 11.3.1 Switches, Fixtures &amp; Receptacles

**DAMAGED ELECTRICAL COMPONENT**

Major Defect

I observed damage to an electrical component. Electrical hazard.

## Recommendation

Contact a qualified electrical contractor.



## 11.3.2 Switches, Fixtures &amp; Receptacles

**LIGHT INOPERABLE, COULD BE BULB**

Major Defect

I observed one or more lights that were not turning on. A new light bulb was possibly needed. We recommend asking the homeowner about why this light fixture did not turn on.

## Recommendation

Contact a qualified electrical contractor.



11.4.1 Floors, Walls, Ceilings

DAMAGED FLOORING

Major Defect

There was damaged flooring in the living room at the time of the inspection. It appears to be from termites further evaluation by a pest management company is recommended.



11.7.1 Presence of Smoke and CO Detectors

OLD DETECTORS, NEW DETECTORS RECOMMENDED

Major Defect

I observed indications of old smoke detectors in the house. Detectors should be replaced every 5-10 years. The should be hard-wired with electricity and have a battery backup feature in case the electricity turns off. New smoke detectors are recommended.

Recommendation

Contact a qualified professional.



11.7.2 Presence of Smoke and CO Detectors

**MISSING SMOKE DETECTOR**

I observed indications of a missing smoke detector. Hazard.

Recommendation

Contact a qualified professional.

Major Defect

11.7.3 Presence of Smoke and CO Detectors

**MISSING CO DETECTOR**

I observed indications of a missing carbon monoxide detector. Hazard.

Recommendation

Contact a qualified professional.

Major Defect

# 12: LAUNDRY

## Limitations

Clothes Washer

### DID NOT INSPECT

I did not inspect the clothes washer and dryer fully. These appliances are beyond the scope of a home inspection. I did not operate the appliances. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.



Clothes Dryer

### DID NOT INSPECT

I did not inspect the clothes washer and dryer fully. These appliances are beyond the scope of a home inspection. I did not operate the appliances. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.

## Recommendations

12.1.1 Clothes Washer

### MISSING GFCI PROTECTION IN LAUNDRY

Major Defect

I observed missing GFCI protection for all receptacle outlets in the laundry, as it is required by standards.

Recommendation

Contact a qualified electrical contractor.



### 12.3.1 Laundry Room, Electric, and Tub

#### **MISSING AFCI PROTECTION**

Major Defect

I observed that there is missing AFCI protection at the receptacles in the laundry room.

All 120-volt, 15- and 20-amp outlets in laundry rooms must be AFCI and GFCI protected. 2014 NEC 210.8(A)(10) & 210.12(A)

#### Recommendation

Contact a qualified electrical contractor.



### 12.3.2 Laundry Room, Electric, and Tub

#### **MISSING GFCI PROTECTION**

Major Defect



I observed that there is missing GFCI protection at the receptacles in the laundry room.

All 120-volt, 15- and 20-amp outlets in laundry rooms must be AFCI and GFCI protected. 2014 NEC 210.8(A)(10) & 210.12(A)

#### Recommendation

Contact a qualified electrical contractor.



#### 12.3.3 Laundry Room, Electric, and Tub

##### **MISSING TAMPER RESISTANT RECEPTACLE TYPE**



Major Defect

I observed receptacles in the laundry room that are not TR (tamper resistant) type.

All receptacles in the laundry room should be listed as the tamper-resistant type unless they are located higher than 5 feet 6 inches above the laundry room floor.

#### Recommendation

Contact a qualified electrical contractor.



## 13: KITCHEN

### Information

---

#### **Kitchen Sink: Ran Water at Kitchen Sink**

I ran water at the kitchen sink.



#### **GFCI: GFCI Tested**

I observed ground fault circuit interrupter (GFCI) protection in the kitchen.



Countertops & Cabinets: Inspected Cabinets & Countertops

I inspected a representative number of cabinets and countertop surfaces.







Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).



Recommendations

13.4.1 Countertops & Cabinets

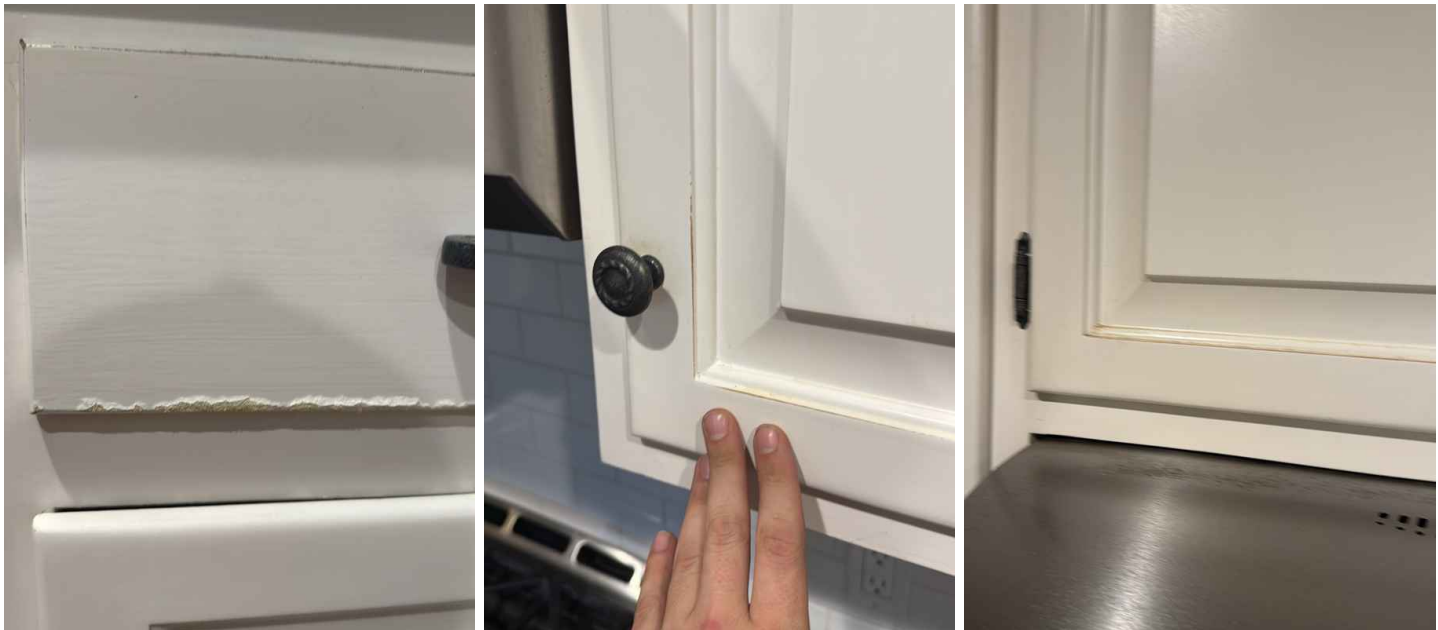
**WORN AREAS AT CABINETS**

I observed worn areas and some damage at the cabinets.

Recommendation

Recommend monitoring.

 Minor Defect





13.4.2 Countertops & Cabinets

**CABINET HANDLE MISSING/LOOSE**

I observed a missing/loose cabinet handle.

Recommendation

Recommended DIY Project

 Minor Defect





# STANDARDS OF PRACTICE

## Inspection Detail

Please refer to the [Home Inspection Standards of Practice](#) while reading this inspection report. I performed the home inspection according to the standards and my clients wishes and expectations. Please refer to the inspection contract or agreement between the inspector and the inspector's client.

## Roof

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the roof of the house.

Monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

### I. The inspector shall inspect from ground level or the eaves:

1. the roof-covering materials;
2. the gutters;
3. the downspouts;
4. the vents, flashing, skylights, chimney, and other roof penetrations; and
5. the general structure of the roof from the readily accessible panels, doors or stairs.

### II. The inspector shall describe:

1. the type of roof-covering materials.

### III. The inspector shall report as in need of correction:

1. observed indications of active roof leaks.

## Exterior

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the exterior of the house.

### I. The inspector shall inspect:

1. the exterior wall-covering materials;
2. the eaves, soffits and fascia;
3. a representative number of windows;
4. all exterior doors;
5. flashing and trim;
6. adjacent walkways and driveways;
7. stairs, steps, stoops, stairways and ramps;
8. porches, patios, decks, balconies and carports;
9. railings, guards and handrails; and
10. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

### II. The inspector shall describe:

1. the type of exterior wall-covering materials.

### III. The inspector shall report as in need of correction:

1. any improper spacing between intermediate balusters, spindles and rails.

## **Basement, Foundation, Crawlspce & Structure**

### **I. The inspector shall inspect:**

the foundation;  
the basement;  
the crawlspace; and  
structural components.

### **II. The inspector shall describe:**

the type of foundation; and  
the location of the access to the under-floor space.

### **III. The inspector shall report as in need of correction:**

observed indications of wood in contact with or near soil;  
observed indications of active water penetration;  
observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and  
any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

## **Heating**

### **I. The inspector shall inspect:**

1. the heating system, using normal operating controls.

### **II. The inspector shall describe:**

1. the location of the thermostat for the heating system;
2. the energy source; and
3. the heating method.

### **III. The inspector shall report as in need of correction:**

1. any heating system that did not operate; and
2. if the heating system was deemed inaccessible.

## **Cooling**

### **I. The inspector shall inspect:**

1. the cooling system, using normal operating controls.

### **II. The inspector shall describe:**

1. the location of the thermostat for the cooling system; and
2. the cooling method.

### **III. The inspector shall report as in need of correction:**

1. any cooling system that did not operate; and
2. if the cooling system was deemed inaccessible.

## **Plumbing**

### **I. The inspector shall inspect:**

1. the main water supply shut-off valve;

2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

**II. The inspector shall describe:**

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

**III. The inspector shall report as in need of correction:**

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

**Electrical****I. The inspector shall inspect:**

1. the service drop;
2. the overhead service conductors and attachment point;
3. the service head, gooseneck and drip loops;
4. the service mast, service conduit and raceway;
5. the electric meter and base;
6. service-entrance conductors;
7. the main service disconnect;
8. panelboards and over-current protection devices (circuit breakers and fuses);
9. service grounding and bonding;
10. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
11. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
12. for the presence of smoke and carbon-monoxide detectors.

**II. The inspector shall describe:**

1. the main service disconnect's amperage rating, if labeled; and
2. the type of wiring observed.

**III. The inspector shall report as in need of correction:**

1. deficiencies in the integrity of the service-entrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
2. any unused circuit-breaker panel opening that was not filled;
3. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
4. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
5. the absence of smoke and/or carbon monoxide detectors.

**Attic, Insulation & Ventilation**



**The inspector shall inspect:**

insulation in unfinished spaces, including attics, crawlspaces and foundation areas;  
ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and  
mechanical exhaust systems in the kitchen, bathrooms and laundry area.

**The inspector shall describe:**

the type of insulation observed; and  
the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

**The inspector shall report as in need of correction:**

the general absence of insulation or ventilation in unfinished spaces.

**Bathrooms****The home inspector will inspect:**

interior water supply, including all fixtures and faucets, by running the water;  
all toilets for proper operation by flushing; and  
all sinks, tubs and showers for functional drainage.

**Doors, Windows & Interior****The inspector shall inspect:**

a representative number of doors and windows by opening and closing them;  
floors, walls and ceilings; stairs, steps, landings, stairways and ramps;  
railings, guards and handrails; and  
garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

**The inspector shall describe:**

a garage vehicle door as manually-operated or installed with a garage door opener.

**The inspector shall report as in need of correction:**

improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;  
photo-electric safety sensors that did not operate properly; and  
any window that was obviously fogged or displayed other evidence of broken seals.

**Laundry****The inspector shall inspect:**

mechanical exhaust systems in the kitchen, bathrooms and laundry area.

**Kitchen**

The kitchen appliances are not included in the scope of a home inspection according to the Standards of Practice.

**The inspector will out of courtesy only check:**

the stove,  
oven,  
microwave, and  
garbage disposer.